



Home Addition- Zoning Code Requirements

City of Oshkosh Planning Services Division

Zoning Code Guide:

This guide was developed to help direct you through the zoning process. Following the steps below will help to eliminate possible delays in obtaining your zoning permit approval.

1. Provide a Site Plan

The plans shall be drawn at 1 inch = 20 feet or larger scale and shall include the following (see the sample site plan). Blank site plans may be purchased at the Planning Services counter for a fee. Please include on your site plan:

- All existing structures on site.
- Property lot lines.
- Location of proposed structure(s).
- Dimensions of proposed structure(s).
- Distance (setbacks) proposed structure(s) are from property lines and other structures.
- Location, dimension and purpose (i.e. water, sewer, etc.) of all known easements.

2. Other Information

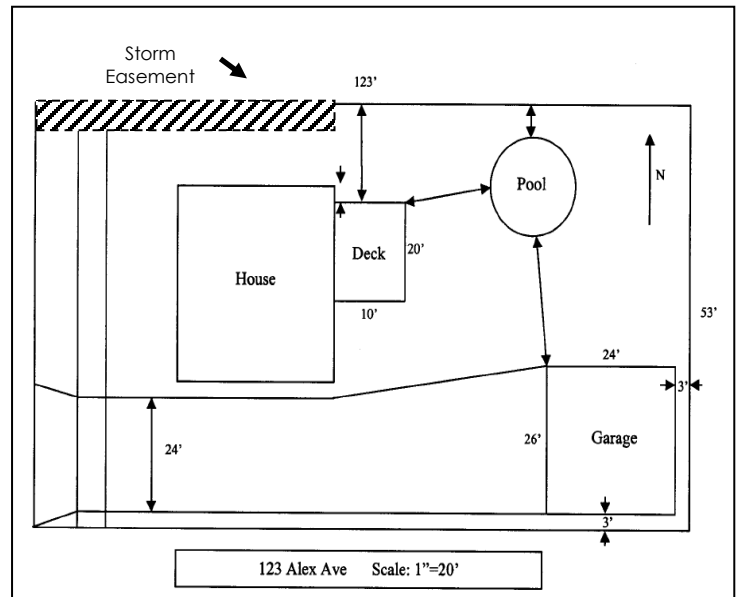
With the site plan other information that may be required :

- Materials used
- Height of structure(s)
- Elevations (if applicable)

3. Apply for the Permit

Please plan ahead to apply for your permit. We suggest that you apply for the permit 2 weeks prior to wanting to start construction. The Planning Services Division is located at 215 Church Ave, Oshkosh Room 204, Level 2 and open Monday– Friday 8am to 4:30pm.

Sample Site Plan



If you have questions please feel free to contact the
 Planning Services Division at (920) 236-5059.
 Web Site: www.oshkoshwi.gov



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Zoning Code Requirements:

Definition:

An Addition is "Any construction that increases the size of a building or structure in terms of site coverage, height, length, width, or gross floor area.

A Principal Structure is "The building containing the principal use, including the foundation, basement, and attic. When calculating area, attached residential accessory structures such as attached garages, attached garden sheds, and attached pool houses are not considered part of the principal structure.

Home Addition—Locations:

See Article II, Sections 30-35 (G) through 30-62 (G) of the Oshkosh Zoning Ordinance. New Additions are considered additions to the principal structure (house) and must meet the same setbacks the house must meet.

It is important to realize that no more than 50 percent of your lot area can be impervious surfaces (roofs, pavement, etc.) A new Addition would count against this 50 percent.

Required Setbacks - Additions to Existing Homes

Setback	SR-2	SR-3	SR-5	SR-9	DR-6	TR-10
Minimum Street Side (on corner lots)	30 feet	25 feet. May be reduced to 12 feet if Side setback is maintained	25 feet. May be reduced to 12 feet if side setback is maintained	25 feet. May be reduced to 12 feet if side setback is maintained	25 feet. May be reduced to 12 feet if side setback is maintained.	25 feet. May be reduced to 12 feet if side setback is maintained
Minimum Side Setback	10 feet	10 feet	7.5 feet	5 feet for Residential	7.5 feet	7.5 feet
Minimum Rear Setback	30 feet	25 feet	25 feet	25 feet	25 feet	25 feet

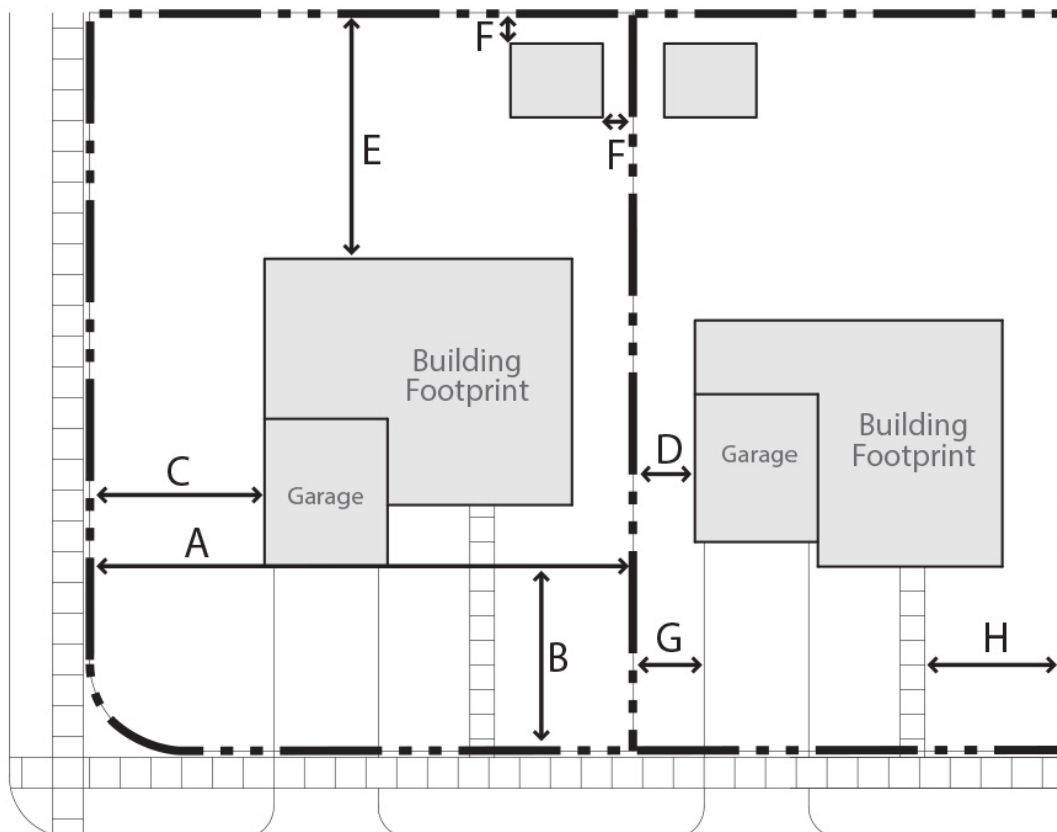
Zoning Code Requirements:

Home Addition—Orientation:

Additions that extend the home shall be placed on the rear façade or side façade if the rear is not practical. In cases where there is a lack of sufficient space in the rear or side yard, an addition may be permitted to extend beyond the front wall plane of the home.

Key to Figure

- A Front lot width (at building minimum setback line)
- B Street setback (lot line to principal building or attached garage)
- C Corner lot (street side) setback (lot line to principal building or attached garage)
- D Side setback (lot line to principal building or attached garage)
- E Rear setback (lot line to principal building or attached garage)
- F Accessory building side and rear setback (lot line to accessory building)
- G Minimum driveway setback (side lot line to pavement)
- H Minimum pavement setback (lot line to pavement excluding driveway entrance)





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Home Addition—Orientation:



Home Addition—Design Standards

See Article VIII, Section 30-240 (B) of the Oshkosh Zoning Ordinance.

All Additions shall match or be substantially similar to the design and materials of the existing building.

The Addition should be sensitive to the existing structure and employ materials / design characteristics that fit in with the current home.

No standing seam metal roofs are allowed.

Addition—Attached Garage

Front loaded, attached garages shall comprise no more than 50 percent of the width of the ground floor façade facing the street.

If the ground floor street façade is articulated with recesses, projections, windows, balconies, or dormers, attached garages shall comprise no more than 70 percent of the façade width.

Please visit the Planning Services Division on the 2nd floor of City Hall or call 920-236-5059 with questions.

Height and Footprint

Additions and changes that increase the building's height shall not be taller than the principal structure's dominant or highest roof ridgeline and shall not overpower the principal structure's overall scale and massing, except as provided below.

An exception to the height standard can be made if the addition conforms and is compatible with the principal structure's overall architectural style and roof shapes and becomes an integral part of the structure's overall building form and design

An addition's footprint shall not be more than 50 percent of the principal structure's existing footprint.